

S/LC ZONING
RMU-35

PROJECT NARRATIVE:
THIS PROJECT CONSISTS OF 4 MULTI-FAMILY APARTMENT UNITS (20 UNITS TOTAL)

CODE ANALYSIS:
NOTE: 2015 IRC AS BASIS OF ANALYSIS

CONSTRUCTION TYPE: VB
OCCUPANCY BASIS: R-3
GROSS AREA: ---
BUILDING: ---

NUMBER OF STORIES: 3
FIRE SPRINKLERS: YES, 13D SYSTEM
FIRE SEPARATION: 2 HR PROVIDED
RATED WALL ASSEMBLIES: 2 HR UL #263
DRAFT STOPS: NOT REQUIRED FOR AREAS <1,000 SF
WINDOW EGRESS: -

ENERGY CODE:

THE FOLLOWING ASSEMBLIES SHALL COMPLY BY N1102.4.1.1 WHERE APPLICABLE

ROOF:
REQUIRED R49
PROVIDED R49

WALL:
REQUIRED R20 OR R13 + R5
PROVIDED R23 + R5 = R28

SLAB:
REQUIRED R10 FOR 4'
PROVIDED R46

FEENESTRATION U-FACTOR
REQUIRED .32
PROVIDED .32

WARNOCK

WARNOCK COMMONS

PLAN DEVELOPMENT

08.31.22

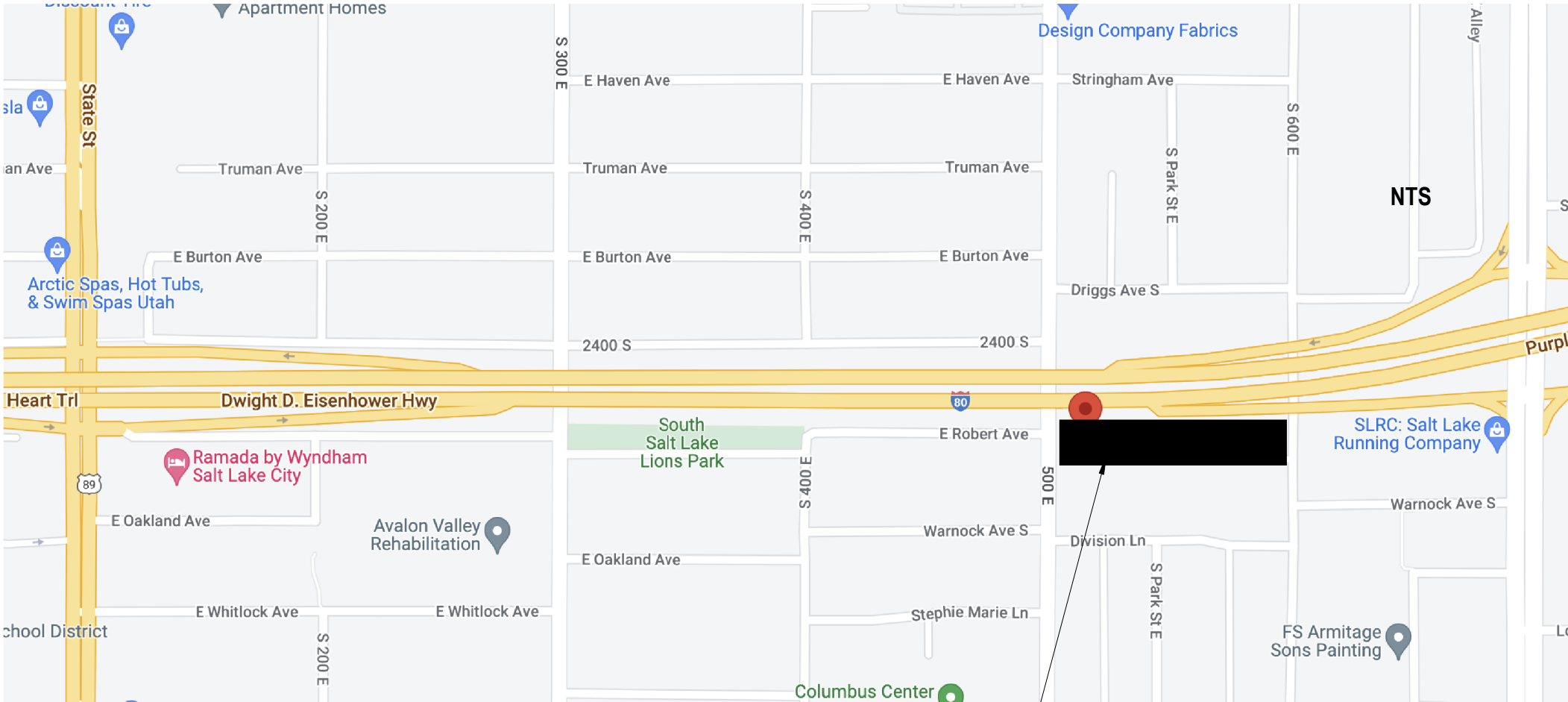
PROJECT DESCRIPTION: THIS PROJECT IS A (5) BUILDINGS OF 4 ROW TOWN HOUSES WITH 1 GARAGE PER UNIT MADE FROM WOOD CONSTRUCTION. UNITS ARE 2 AND 3 BEDROOM WITH 2.5 BATHS.

SHEET INDEX

CVR	COVER
A001	3D VIEWS
A002	3D VIEWS
A003	SITE PLAN
A100	FIRST FLOOR PLAN
A101	SECOND FLOOR PLAN
A102	THIRD FLOOR PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS



GENERAL NOTES	FIRE NOTES
<ol style="list-style-type: none">THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE ENTIRE SET OF DRAWINGS AND THEIR RELEVANT SPECIFICATION SECTIONS. IN ORDER TO COORDINATE THEIR PORTION OF THE WORK, ALL CONTRACTORS SHALL MAKE THEMSELVES AVAILABLE FOR A PRE-CONSTRUCTION COORDINATION MEETING TO REVIEW MOUNTING HEIGHTS OF EQUIPMENT, FIXTURES, DUCTWORK, ETC. IN ORDER TO VERIFY INTENT AND IDENTIFY AND RESOLVE POTENTIAL CONFLICTS.CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH ARCHITECT PRIOR TO BIDGENERAL CONTRACTOR SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY 801.536.4000. COMPLIANCE WITH THEIR REQUIREMENTS IS MANDATORYALL EXTERIOR STEEL SHALL BE GALVANIZED.	<ol style="list-style-type: none">REQUIRED MEANS OF EGRESS AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED DURING CONSTRUCTION AND DEMOLITION, REMODELING, OR ALTERATIONS AND ADDITIONS TO THE BUILDING. FIRE BUREAU PREVENTION STAFF SHALL APPROVE REVIEW OF ANY EXITING ALTERATIONS.AUTOMATIC FIRE SPRINKLER, FIRE SUPPRESSION, AND FIRE ALARM SYSTEMS WHEN TAKEN OUT OF SERVICE ARE REQUIRED TO HAVE THE FIRE PREVENTION BUREAU NOTIFIED AT 801-799-4150. THE DURATION OF TIME AND THE DATE MUST BE STATED TO INCLUDE THE DATE WHICH THE FIRE PROTECTION EQUIPMENT WILL BE PLACED IN SERVICE AS REQUIRED IN IFC CHAPTER 33.FIRE PERMITS SHALL BE IN ACCORDANCE WITH IFC SECTIONS 105.1.1 THROUGH 105.7.16. THE FOLLOWING ITEM(S) REQUIRE A SEPARATE FIRE PERMIT:<ol style="list-style-type: none">UNDERGROUND FIRE LINES (WATER MAIN LATERALS), FIRE HYDRANTSSTANDPIPESA 3'-0" CLEARANCE SHALL ALWAYS BE MAINTAINED AROUND FIRE EQUIPMENT, INCLUDING BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND FIRE SUPPRESSION CONTROL VALVES.ALL FIRE PROTECTION AND DETECTION SYSTEMS SHALL HAVE THE PIPING AND WIRING EXPOSED FOR INSPECTION. THE PIPING AND WIRING MAY BE COVERED AFTER THE FIRE INSPECTION OF THE SYSTEMS HAS BEEN SATISFACTORILY COMPLETED.CLASS I DRY STANDPIPE SHALL BE INSTALLED WHEN THE CONSTRUCTION OF A BUILDING REACHES 40 FEET IN HEIGHT. TWO OUTLETS WITH GLOBE VALVES AND A MINIMUM 2½-INCH NATIONAL STANDARD MALE THREAD (NST) WITH A REDUCING CAP TO A 1½-INCH NST SHALL BE INSTALLED ADJACENT TO A STAIRWAY AND BELOW ONE FLOOR HAVING SECURED DECK. THE MAXIMUM LENGTH OF TRAVEL TO ANY PART OF THE STRUCTURE SHALL NOT EXCEED 150 FEET FOR ANY ONE STANDPIPE.PROVIDE A SIGN INDICATING THE REQUIRED PRESSURE AT THE INLETS OF THE STANDPIPE OR COMBINATION STANDPIPE TO DELIVER THE SYSTEM DEMAND.FIRE RISER ROOMS FOR ALL WATER BASED FIRE SYSTEMS (SPRINKLER AND STANDPIPE) SHALL BE CONSTRUCTED WITH THE FOLLOWING CLEARANCES:<ol style="list-style-type: none">A MINIMUM OF 12 INCHES THAT IS UNOBSTRUCTED FROM ALL WALLS (INTERIOR AND EXTERIOR),<ol style="list-style-type: none">TO THE FIRE APPLIANCES (VALVES/CONTROL / CHECK) AND RISER TRIM) TO INCLUDE MULTIPLE RISERS WHICH ARE SUPPLIED BY ONE OR MORE SUPPLY MAINS.A MINIMUM OF 36 INCHES SHALL BE PROVIDED IN FRONT OF THE APPLIANCES LISTED ABOVE.RISER ROOMS SHALL BE PROVIDED WITH A CLEAR AND UNOBSTRUCTED PASSAGEWAY TO THE RISER ROOM OF NOT LESS THAN 36 INCHES AND THE OPENING INTO THE ROOM SHALL BE CLEAR AND UNOBSTRUCTED WITH DOORS SWINGING IN THE OUTWARD DIRECTION FROM THE ROOM AND THE OPENING PROVIDING A CLEAR WIDTH OF NOT LESS THAN 34 INCHES AND A CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 80 INCHES.FIRE STOPPING IS REQUIRED WHEN THE PIPE PASSES THROUGH THE FIRE RATED WALL ASSEMBLY. THE PIPING PASSING THROUGH A FIRE RATED ASSEMBLY SHALL BE PROVIDED WITH FLEXIBLE COUPLINGS WITHIN 1'-0" OF EACH SIDE OF THE WALL.THERMAL AND SOUND INSULATION TO INCLUDE BLOWN IN WHICH IS INSTALLED IN CONCEALED AND EXPOSED SPACES SHALL BE TESTED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 84 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450.FLOOR CARPET SHALL BE TESTED IN ACCORDANCE TO NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 253 AND BE A CLASS I (0.45 WATTS/CM2) IN CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS AND CLASS II (0.22 WATTS/CM2) IN ALL ROOMS. PLEASE NOTE; NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 80 INDICATES THAT CARPET WHICH PASSES UNDER A FIRE RATED DOOR SHALL BE A MINIMUM CLASS II, AS REQUIRED IN INTERNATIONAL FIRE CODE SECTION 804.3.ALL CLASS I, III AND COMBINATION STANDPIPE OUTLETS SHALL BE PROVIDED WITH A GLOBE VALVE AND A MINIMUM 2½ INCH NATIONAL STANDARD MALE THREAD (NST) WITH A REDUCING CAP TO A 1½ INCH NST. THE MOST REMOTE OUTLET FLOW SHALL BE A MINIMUM OF 500 GPM @ 100 PSI.THERMAL AND SOUND INSULATION AND COVERING WHICH ARE INSTALLED IN CONCEALED AND EXPOSED SPACES AND AS COVERING OVER PIPE AND TUBING SHALL BE TESTED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING (ASTM) E 84 AND HAVE A FLAME SPREAD INDEX OF 0-25 AND A SMOKE INDEX OF 0-50.When the interstitial spaces such as duct liners, sound abatement, and plenums (whether supply or return) are used for environmental air they shall be non-combustible construction or have a flame spread rating of 0-25 and smoke index of 0-50 when tested in accordance to ASTM E-84.Provide a minimum 2A:10 BC rated fire extinguishers within 75-foot travel distance to all spaces in the structure. During construction, alteration or demolition in the following areas as required in IFC Chapter 33: • At each stairway on all floor levels where combustible materials have accumulated. • In every storage and construction shed. • Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids.



PROJECT SITE

VICINITY MAP

CIVIL ENGINEER

ROBERT POIRIER

MONEIL ENGINEERING
5610 SOUTH SANDY PARKWAY
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801.255.7700

LANDSCAPE ARCHITECT

SCOTT SCHOONOVER

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STRUCTURAL ENGINEER

GARRETT JENKINS

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801.974.5101

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NOT FOR CONSTRUCTION

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2435 SOUTH 500 EAST
SALT LAKE CITY UTAH

08.31.22

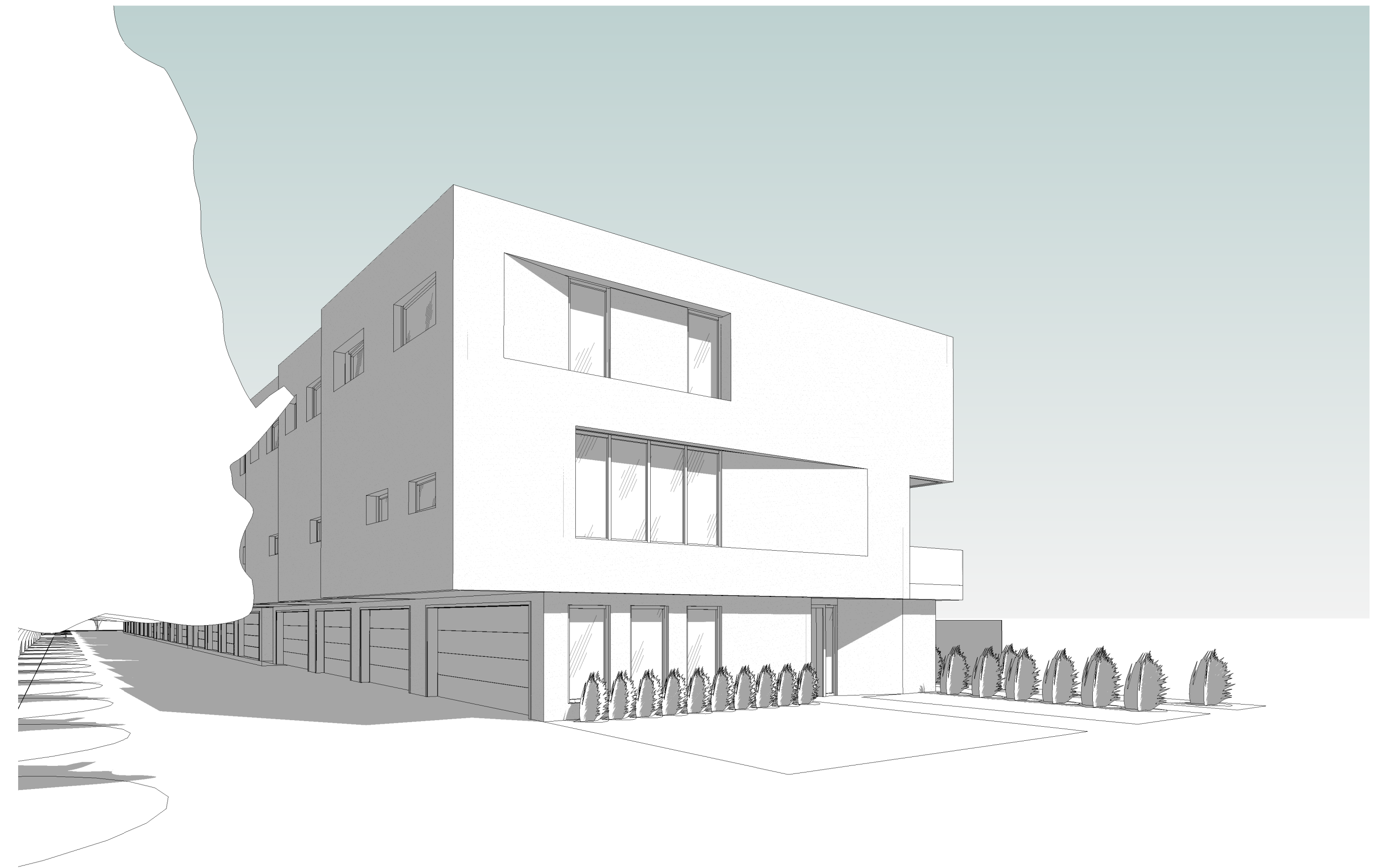
PLAN
DEVELOPMENT

COVER

CVR



④ DRIVE LANE



② STREET PERSPECTIVE 2



③ PEDESTRIAN WALKWAY



① STREET PERSPECTIVE 1

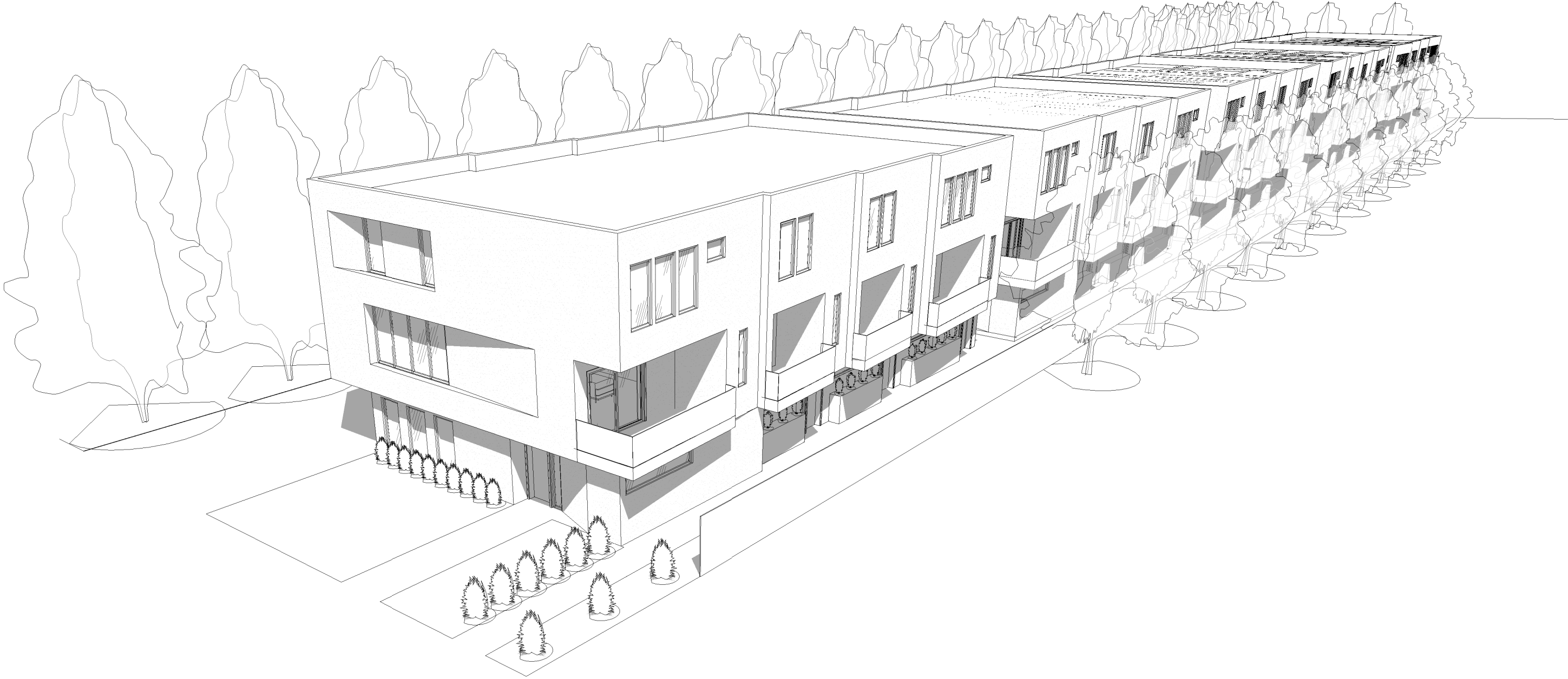
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PLAN
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3D VIEWS

A002



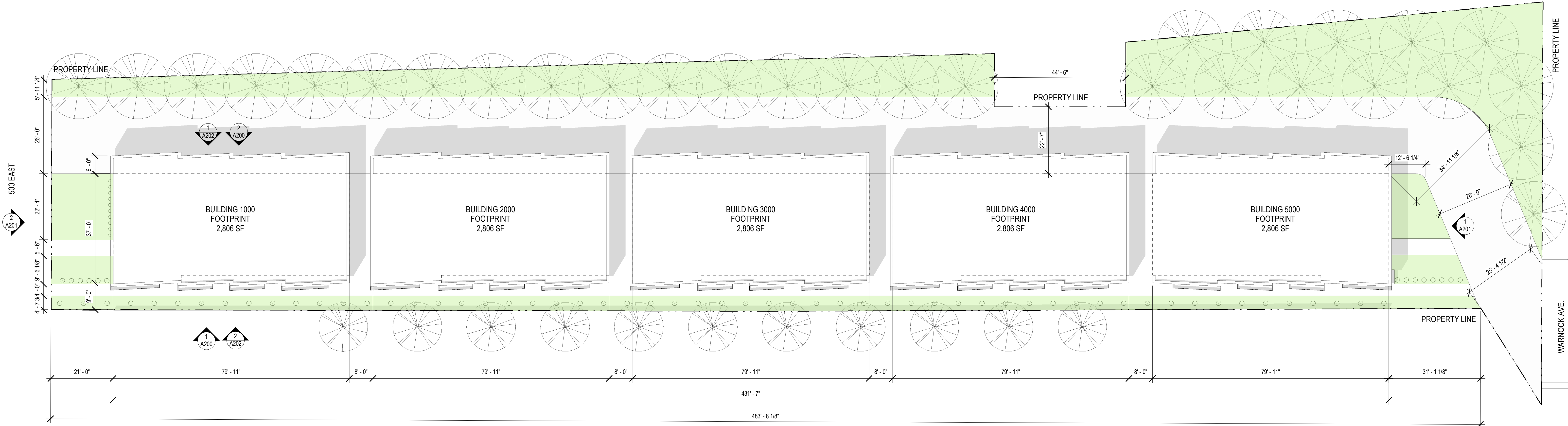
1 BIRD'S EYE VIEW

BUILDING 1000 & BUILDING 5000			
UNIT TYPE	AREA	NUMBER OF UNITS	NUMBER OF BEDROOMS
UNIT A	2500 SF	1	3 BEDROOM
UNIT B	1885 SF	2	2 BEDROOM
UNIT C	2430 SF	1	3 BEDROOM
BUILDING 2000 - BUILDING 4000			
UNIT TYPE	AREA	NUMBER OF UNITS	NUMBER OF BEDROOMS
UNIT B	1885 SF	2	2 BEDROOM
UNIT C	2430 SF	2	3 BEDROOM

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OVERALL DWELLING UNIT DENSITY
20 UNITS
1 ACRE = 20 UNITS/ACRE

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PLAN
DEVELOPMENT

SITE PLAN

A003

1 SITE PLAN
1/16" = 1'-0"

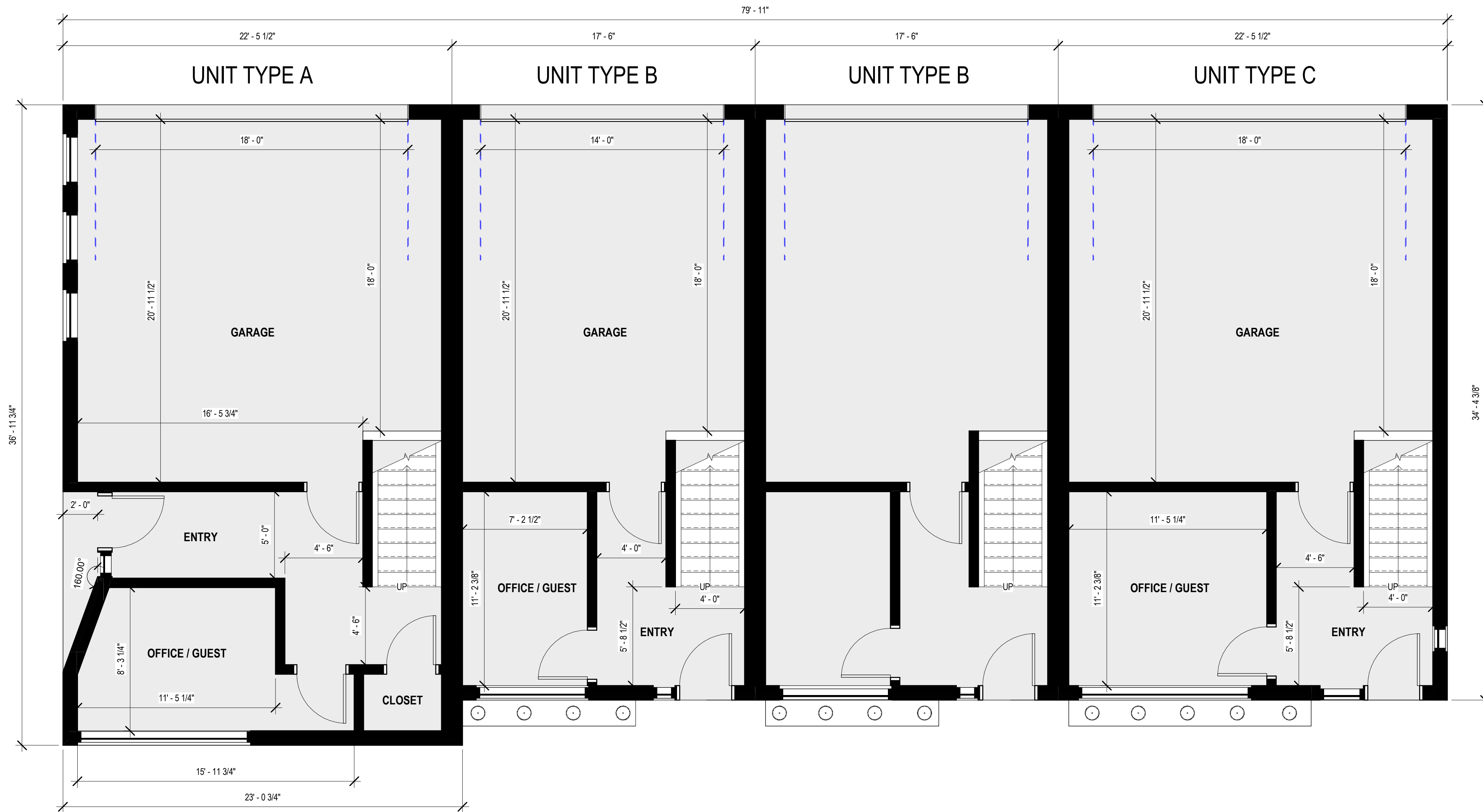
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PLAN
DEVELOPMENT

FIRST FLOOR
PLAN

A100



UNIT A:
• LEVEL 1: 697 SF
• LEVEL 2: 903 SF
• LEVEL 3: 900 SF
• TOTAL: 2,500 SF

UNIT B:
• LEVEL 1: 514 SF
• LEVEL 2: 682 SF
• LEVEL 3: 688 SF
• TOTAL: 1884 SF

UNIT C:
• LEVEL 1: 665 SF
• LEVEL 2: 885 SF
• LEVEL 3: 880 SF
• TOTAL: 2430 SF

1 FIRST FLOOR PLAN
1/4" = 1'-0"

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PLAN
DEVELOPMENT

SECOND FLOOR
PLAN

A101



UNIT A:
• LEVEL 1: 697 SF
• LEVEL 2: 903 SF
• LEVEL 3: 900 SF
• TOTAL: 2,500 SF

UNIT B:
• LEVEL 1: 514 SF
• LEVEL 2: 682 SF
• LEVEL 3: 688 SF
• TOTAL: 1884 SF

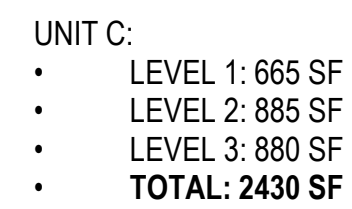
UNIT C:
• LEVEL 1: 665 SF
• LEVEL 2: 885 SF
• LEVEL 3: 880 SF
• TOTAL: 2430 SF

1 SECOND FLOOR
1/4" = 1'-0"

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THIRD FLOOR
PLAN

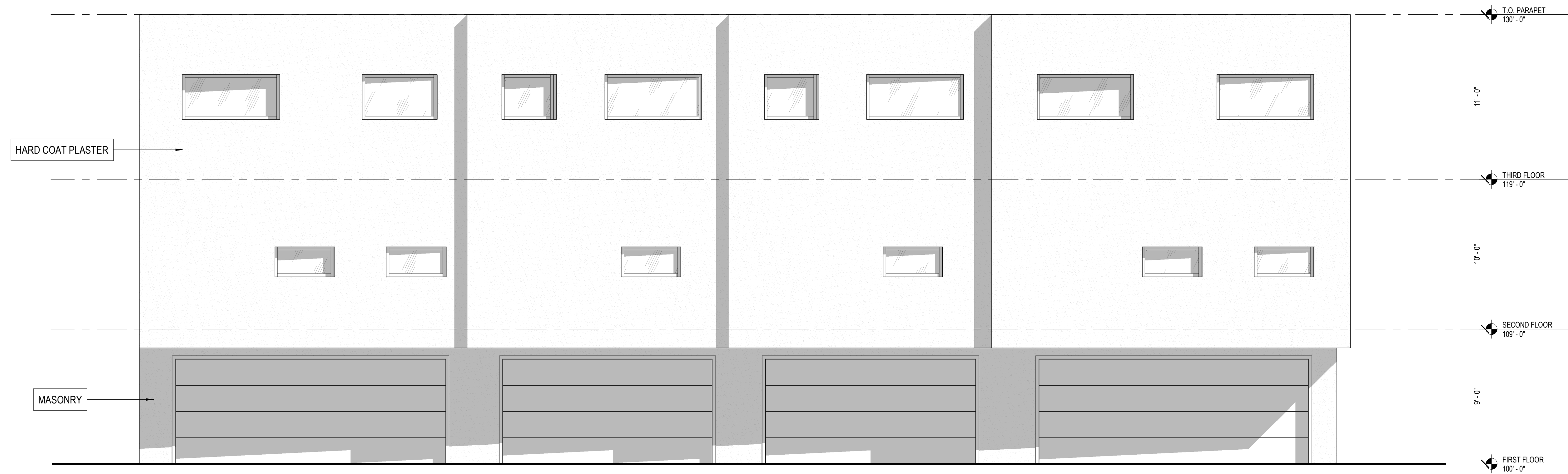
A 102



1 THIRD FLOOR
1/4" = 1'-0"



① EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



② EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

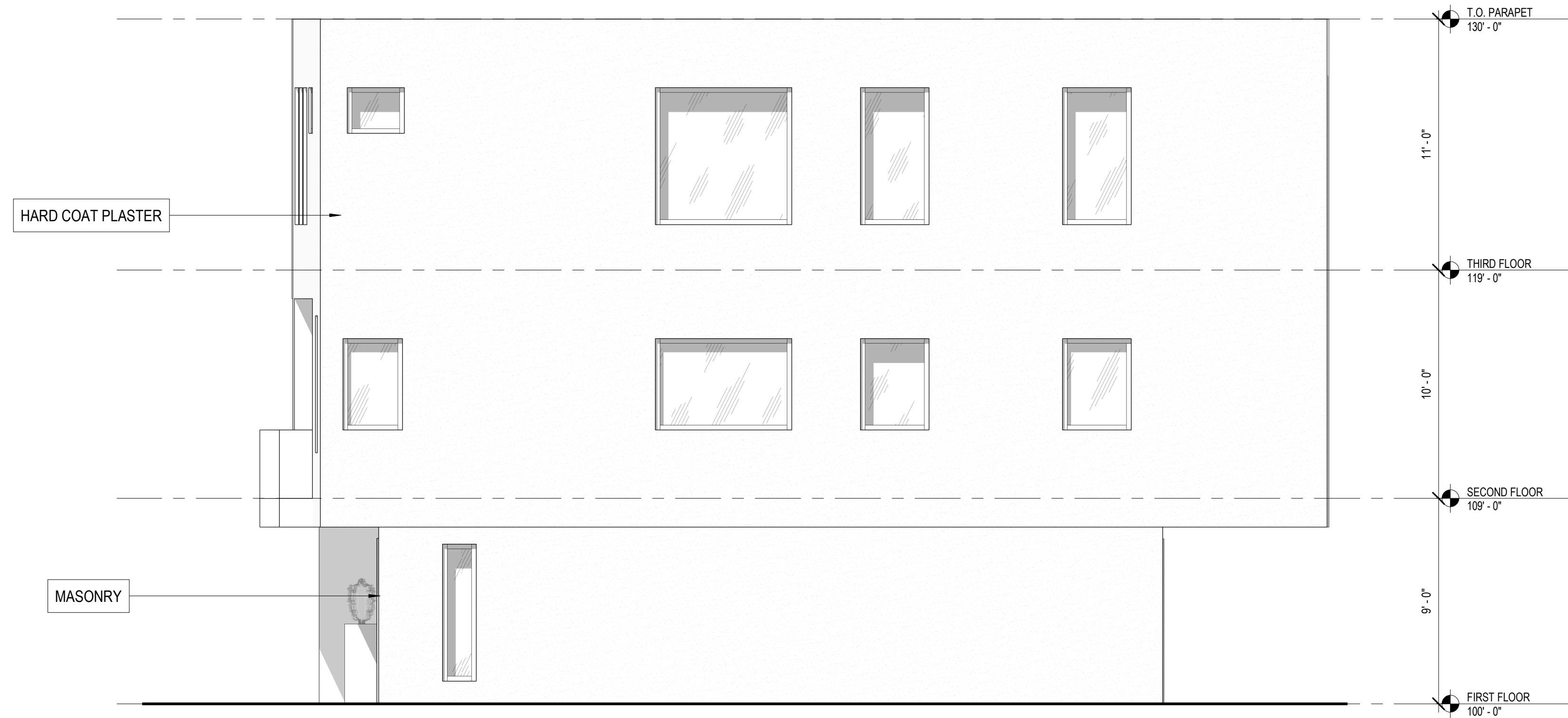
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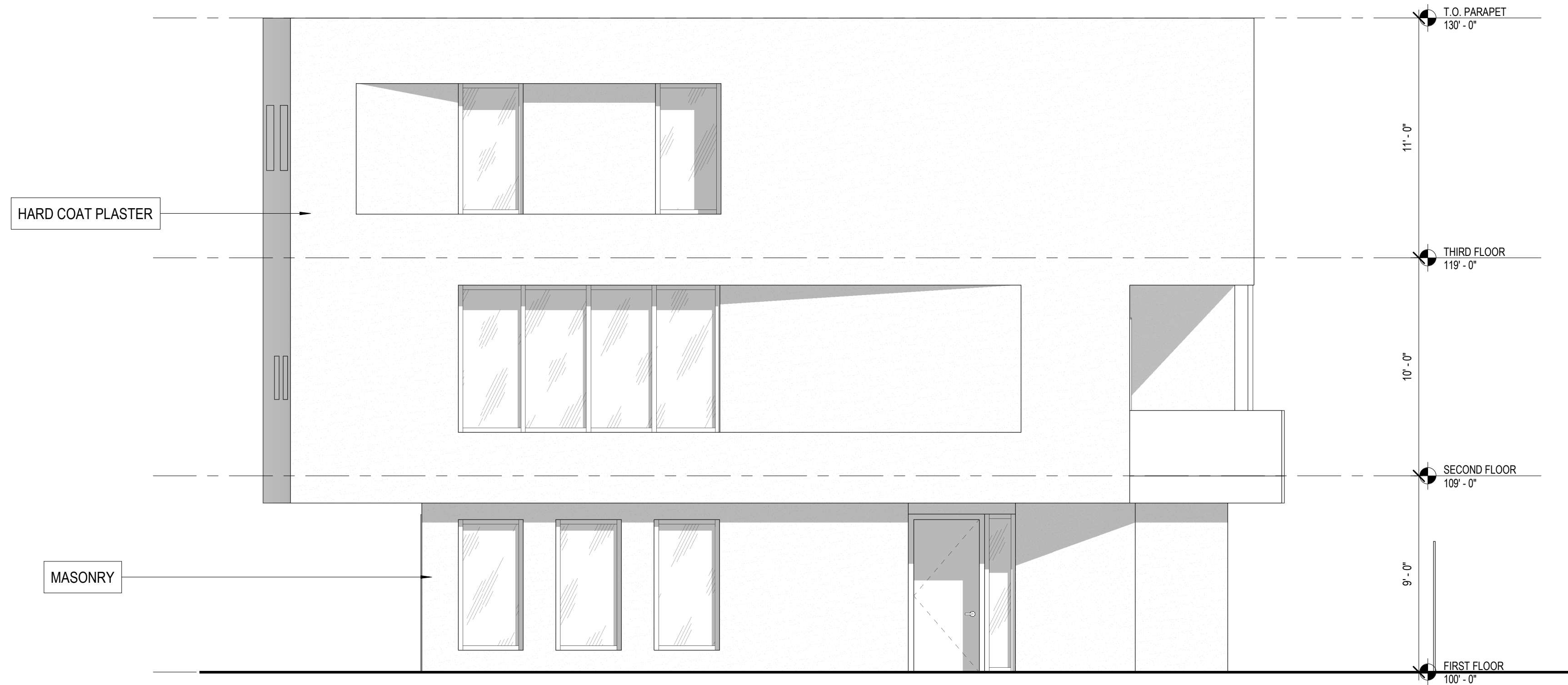
PLAN
DEVELOPMENT

EXTERIOR
ELEVATIONS

A201



① EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



② EXTERIOR ELEVATION - WEST
1/4" = 1'-0"